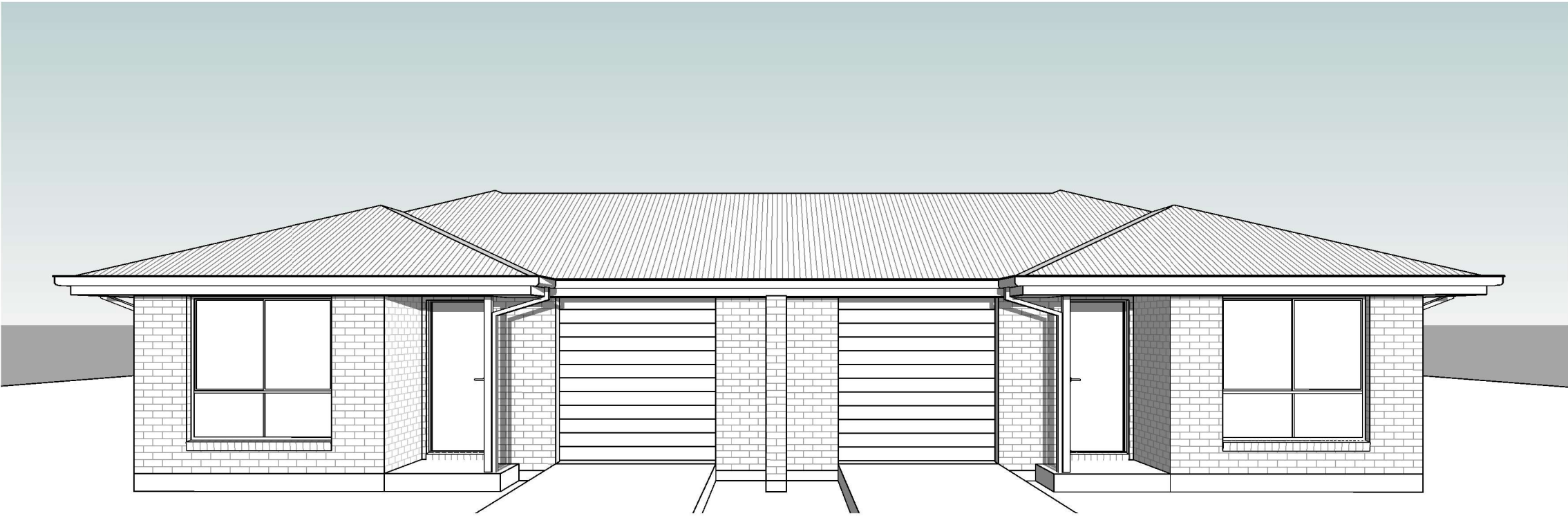


PROPOSED NEW RESIDENCE FOR:
NSW ABORIGINAL LAND COUNCIL
LOT 9 (164) THIRD STREET,
NARROMINE



SHEET LIST			
SHEET NUMBER		SHEET NAME	
00		COVER SHEET	
01-1		SITE PLAN	
01-2		LANDSCAPE PLAN	
02		GROUND FLOOR	
03-1		ELEVATIONS	
03-2		ELEVATIONS	
04		SECTION	
05-1		BRICKWORK SETOUT	
05-2		SLAB LAYOUT	
06		PERSPECTIVES	
07		ELECTRICAL PLAN	
08		KITCHEN DETAILS	
09-1		WET AREA DETAILS	
09-2		WET AREA DETAILS	



SPECIFICATIONS
GENERAL


- IT IS RESPONSIBILITY OF BUILDER TO VERIFY ALL DOCUMENTS AS TO THEIR ACCURACY AND SUITABILITY
- PLANS TO BE READ IN CONJUNCTION WITH ENGINEER'S DETAILS WHERE APPLICABLE
- NCC - NATIONAL CONSTRUCTION CODE - VOLUME 2 - HOUSING PROVISIONS

STATUTORY REQUIREMENTS


- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC CONDITIONS IMPOSED BY LOCAL AUTHORITY, & COMMITMENTS NOTED IN RELEVANT BASIX CERTIFICATE
- THE BUILDER IS TO COMPLY WITH REQUIREMENTS OF ALL LEGALLY CONSTITUTED AUTHORITIES HAVING JURISDICTION OVER BUILDING WORKS AND PROVISIONS OF THE HOME BUILDING ACT.
- BUILDER SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR THE USE OF THE SUBCONTRACTORS


NCC REQUIREMENTS

- ALL EARTHWORKS SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & NCC 2022. ALL EXCAVATIONS & UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH ENGINEER'S DETAILS & NCC 2022
- PRIMARY BUILDING ELEMENTS TO BE PROTECTED FROM SUBTERRANEAN TERMITES IN ACCORDANCE WITH NCC 2022
- PROVIDE ADEQUATE CROSS VENTILATION TO SPACE UNDER SUSPENDED GROUND FLOORS IN ACCORDANCE WITH NCC 2022
- STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH NCC 2022
- ALL TIMBER FRAMEWORK SHALL COMPLY WITH NCC 2022
- ROOF TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH AS1720 & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- STRIP & SHEET FLOORING SHALL BE INSTALLED IN ACCORDANCE WITH AS1684
- STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & NCC 2022
- ALL ROOF CLADDING SHALL COMPLY WITH NCC 2022, & INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS
- GUTTERS & DOWNPIPES SHALL BE IN ACCORDANCE WITH NCC 2022
- SARKING SHALL COMPLY WITH AS/NZS4200.1 & 2
- FLASHING SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CLAY BRICK WORK SHALL COMPLY WITH EITHER AS4773 OR AS3700
- CONCRETE BLOCK WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- AUTOCLAVED AERATED CONCRETE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AS 5416.1
- DAMP PROOF COURSES & CAVITY VENTILATION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MORTAR & JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH EITHER AS4773 OR AS3700
- MASONRY ACCESSORIES SHALL COMPLY WITH EITHER AS4773 OR AS3700 APPROPRIATE TIES SHALL BE PROVIDED TO ARTICULATED MASONRY JOINTS
- LINTELS USED TO SUPPORT BRICKWORK OVER OPENINGS & BE PROTECTED FROM CORROSION SHALL COMPLY WITH EITHER AS4773 OR AS3700
- MASONRY VENEER SHALL COMPLY WITH NCC 2022
- ENGAGED PIERS IN SINGLE LEAF MASONRY WALLS SHALL BE CONSTRUCTED IN ACCORDAANCE WITH EITHER AS4773 OR AS3700
- INTERNAL WET AREAS & BALCONIES OVER HABITABLE ROOMS TO BE WATERPROOFED IN ACCORDANCE WITH NCC 2022. WET AREA WALL LINING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- ALL TIMBER DOOR & DOOR SETS SHALL BE MANUFACTURED IN ACCORDANCE WITH AS2688 & AS2689 UNLESS NOTED OTHERWISE IN THE SCHEDULE OF WORKS
- WINDOWS & DOORS SHALL BE MANUFACTURED & INSTALLED IN ACCORDANCE WITH AS 2047
- ALL GLAZING SHALL COMPLY WITH NCC 2022
- STAIR & RAMP CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCC 2022
- BALUSTRADES SHALL BE IN ACCORDANCE WITH NCC 2022
- ALL PLUMBING SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3500, & BE CARRIED OUT BY A LICENSED PLUMBER
- ALL ELECTRICAL WORK SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY & AS3000 & BE CARRIED OUT BY LICENSED ELECTRICIAN
- ALL GAS INSTALLATIONS SHALL COMPLY WITH REQUIREMENTS OF RELEVANT SUPPLY AUTHORITY, & BE CARRIED OUT BY A LICENSED GAS FITTER
- PROVIDE & INSTALL HARD WIRED SMOKE ALRAMS IN ACCORDANCE WITH AS3786 & NCC 2022
- INSTALLATION OF WALL & FLOOR TILES SHALL BE IN ACCORDANCE WITH AS3958.1
- BUILDING TO BE SEALED TO THE REQUIREMENTS OF NCC 2022, INCLUDING CHIMNEYS, FLUES, ROOF LIGHTS, EXTERNAL WINDOWS & DOORS, EXHAUST FANS, ROOF, WALLS, & FLOORS.
- SERVICES ARE TO BE INSTALLED TO THE REQUIREMENTS OF NSW PART 3.12.5 OF BCA, INCLUDING HOT WATER SUPPLY, INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING & COOLING DUCTWORK
- MECHANICAL VENTILATION IS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022
- INWARD SWINGING WC DOORS ARE TO BE FITTED WITH LIFT OFF HINGES TO COMPLY WITH NCC 2022
- CONDENSATION MANAGEMENT TO COMPLY WITH NCC 2022
- FIRE HAZARD PROPERTIES TO COMPLY WITH NCC 2022
- WALL CLADDING TO COMPLY WITH NCC 2022

					CLIENT DATE/...../..... BUILDER DATE/...../.....	PROPOSED NEW RESIDENCE FOR NSW Aboriginal Land Council AT LOT 9 (164) THIRD STREET, NARROMINE	PLAN		SCALE					
								CUSTOM		SHEET SIZE	A3			
D	AMENDMENTS	RX-MB	19/03/25				FACADE	BASIX CERT. No.	DATE	19/03/25				
C	VO2	RX-MB	18/03/25				CUSTOM	CONSTRUCTION PLANS	DRAWN	RX-MB				
B	VO1	VN-MB	20/02/25								TITLE		JOB No.	DWG No.
A	WORKING DRAWINGS	VN-MB	14/02/25								COVER SHEET		00-000	00
Rev	Amendment	Drawn	Date											

LANDSCAPING LEGEND

TURF (475m²)

MULCH (71m²)

Certificate No. 0011829100

Scan QR code or follow website link for rating details.

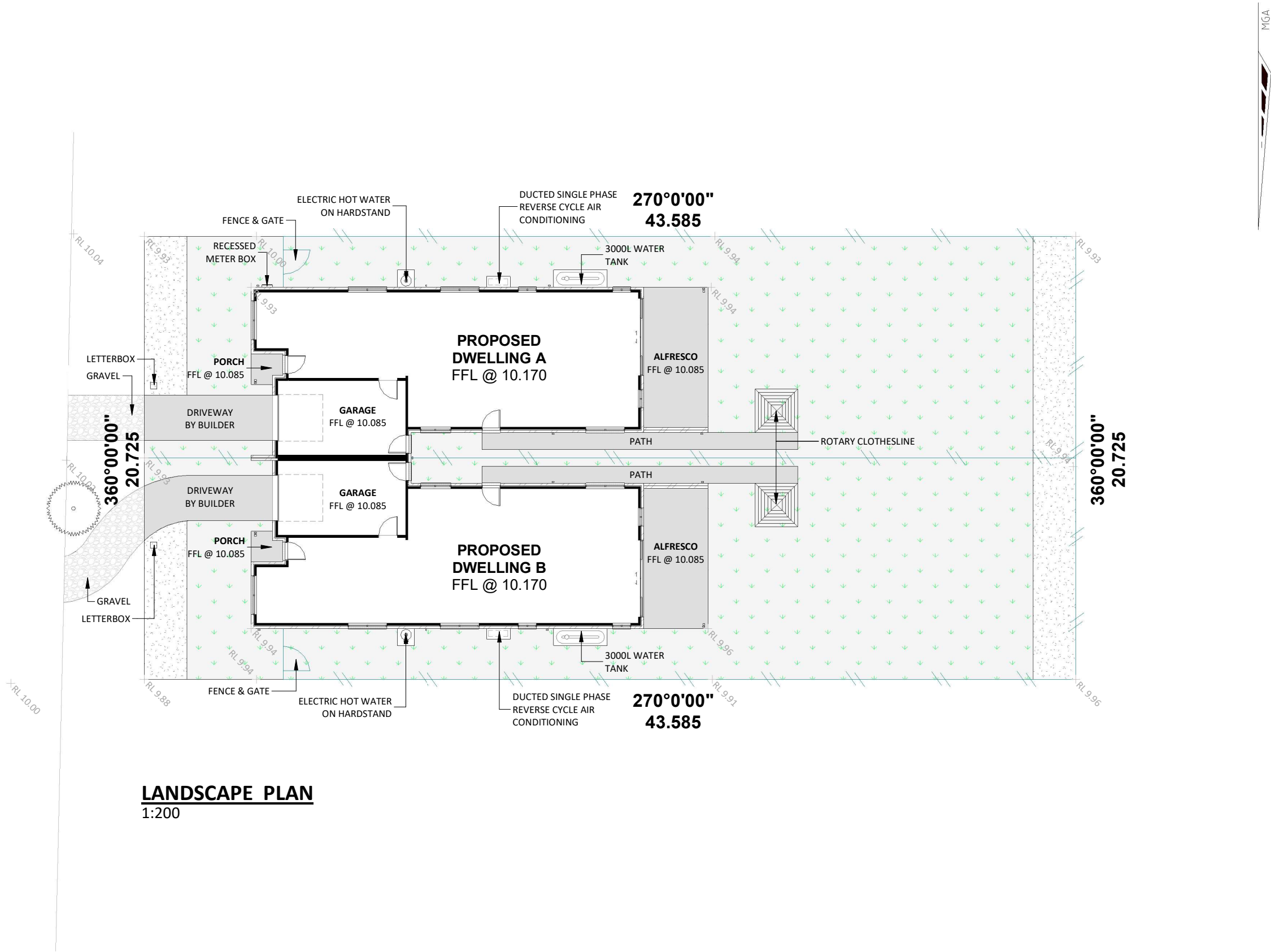
Assessor name Terry Chapman


Accreditation No. 20920

Property Address Third Avenue,NARROMINE
NSW 2821



hstator.com.au/QR/Generate?pi=LXbshlyQZL



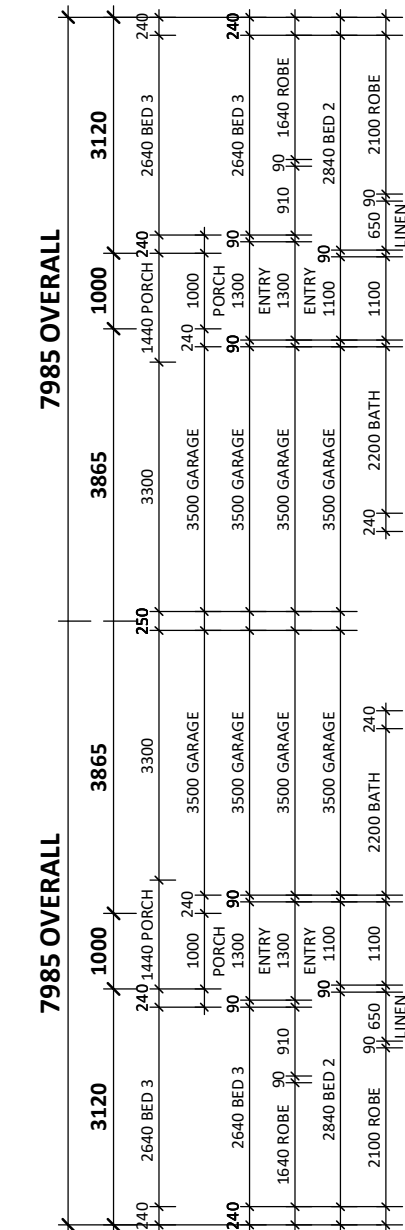
					CLIENT DATE/...../..... BUILDER DATE/...../.....	PROPOSED NEW RESIDENCE FOR NSW Aboriginal Land Council AT LOT 9 (164) THIRD STREET, NARROMINE	PLAN		SCALE	1 : 200
							CUSTOM		SHEET SIZE	A3
D	AMENDMENTS	RX-MB	19/03/25				FACADE CUSTOM	BASIX CERT. No. CONSTRUCTION PLANS	DATE	19/03/25
C	VO2	RX-MB	18/03/25						DRAWN	RX-MB
B	VO1	VN-MB	20/02/25				TITLE LANDSCAPE PLAN	JOB No. 00-000	DWG No. 01-2	
A	WORKING DRAWINGS	VN-MB	14/02/25							
Rev	Amendment	Drawn	Date							

ALL EXTERNAL WINDOWS & DOORS
TO HAVE A NOMINAL HEAD HEIGHT
OF 2100mm FROM FINISHED FLOOR
LEVEL UNLESS NOTED OTHERWISE

ALL FIXTURES AND FITTINGS USED
THROUGHOUT THIS SET OF DRAWINGS ARE
FOR ILLUSTRATIVE PURPOSES ONLY. REFER
TO RELEVANT CURRENT SPECIFICATION
DOCUMENT FOR ALL STANDARD INCLUSIONS

7985 OVERALL

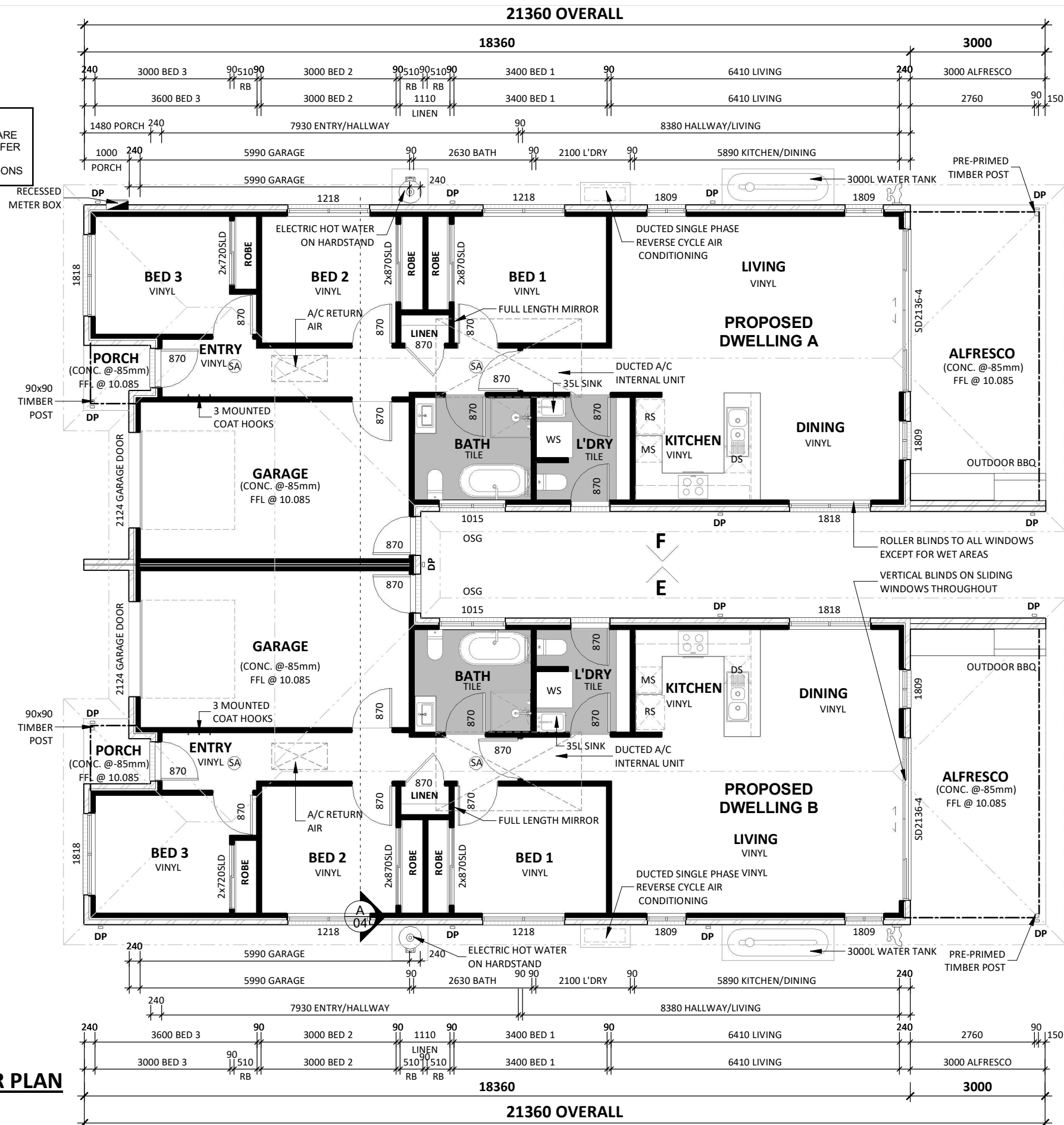
7985 OVERALL



MS MICROWAVE SPACE
DS DISHWASHER SPACE
RS REFRIGERATOR SPACE
WS WASHING MACHINE SPACE
OSG OBSCURE SAFETY GLASS

--- 230mm BULKHEAD
--- CUPBOARD OVERHEAD
--- CUPBOARD UNDERNEATH
--- ROOF LINE ABOVE
--- STRUCTURAL BEAM

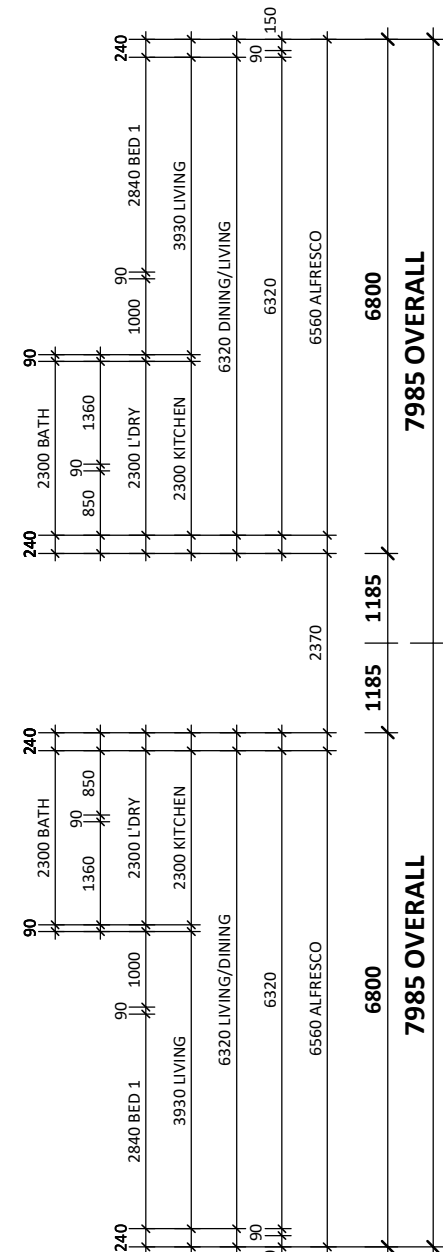
FLOOR PLAN
1:100



A X C
B
ELEVATION

TRADITIONAL AREAS (m²)

DWELING A	105.37
PORCH 1	1.92
ALFRESCO 1	20.40
GARAGE 1	23.11



TRADITIONAL AREAS (m²)

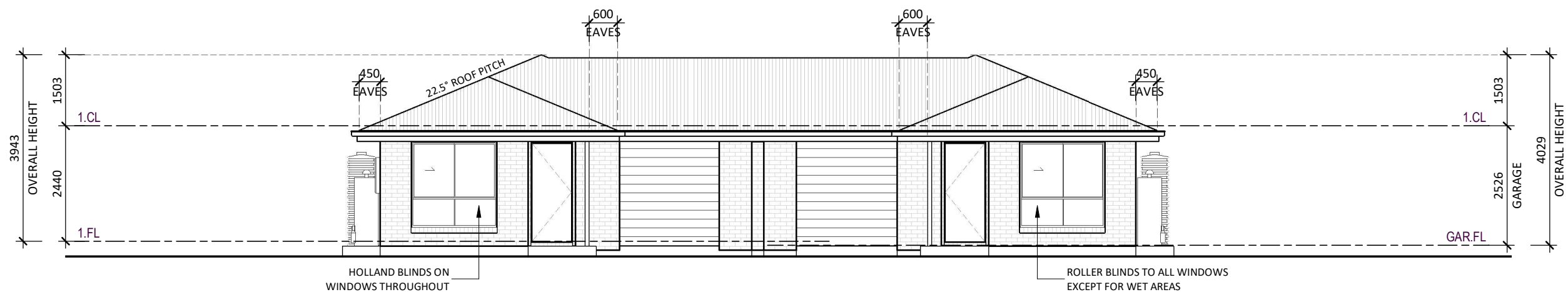
DWELING B	105.37
PORCH 2	1.92
ALFRESCO 2	20.40
GARAGE 2	23.11
TOTAL	301.60



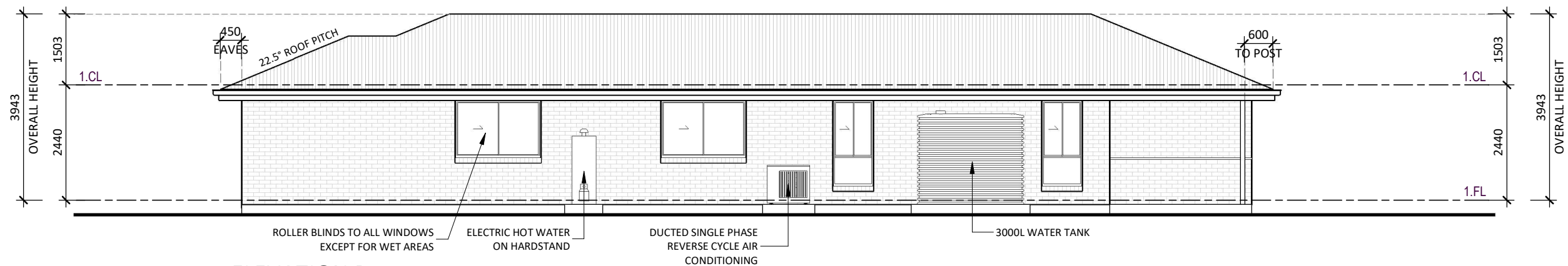
CLIENT
DATE
BUILDER
DATE

PROPOSED NEW RESIDENCE FOR
NSW Aboriginal Land Council
AT LOT 9 (164) THIRD STREET,
NARROMINE

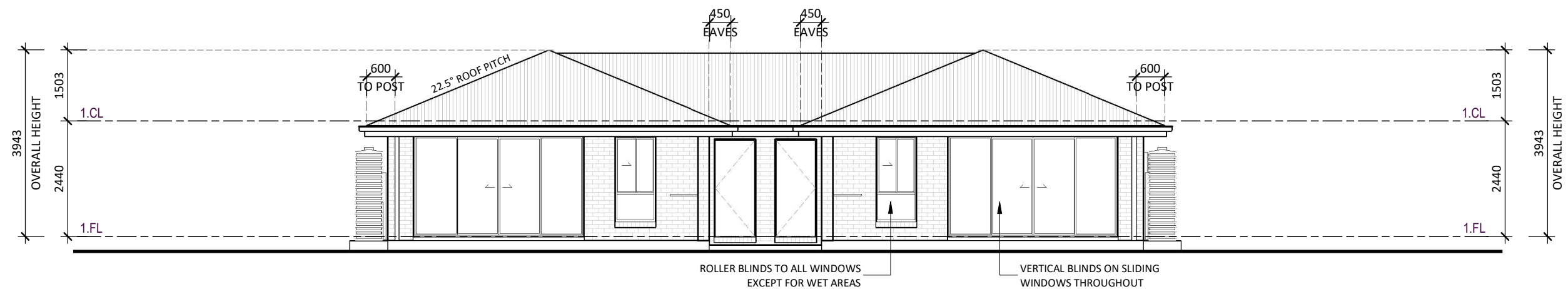
PLAN		SCALE		1 : 100
		CUSTOM		SHEET SIZE
				A3
FACADE		BASIX CERT. No.		DATE
CUSTOM		CONSTRUCTION PLANS		19/03/25
				DRAWN
				RX-MB
TITLE		JOB No.		DWG No.
GROUND FLOOR		00-000		02



ELEVATION A
1:100

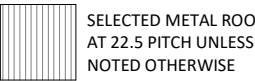


ELEVATION B
1:100




ELEVATION C
1:100

LEGEND



- FRONT ENTRY DOOR
REFER STANDARD INCLUSIONS
- GARAGE DOOR
REFER TO STANDARD INCLUSIONS
- SELECTED ALUMINIUM WINDOWS
REFER TO STANDARD INCLUSIONS
- BRICKWORK ABOVE FRONT ENTRY DOOR
& WINDOWS TO FRONT FACADE ONLY
- COLORBOND FASCIA & GUTTER

REFER TO RELEVANT SPECIFIC STATE /
REGION STANDARD INCLUSIONS DOCUMENT
FOR ALL STANDARD INCLUSIONS

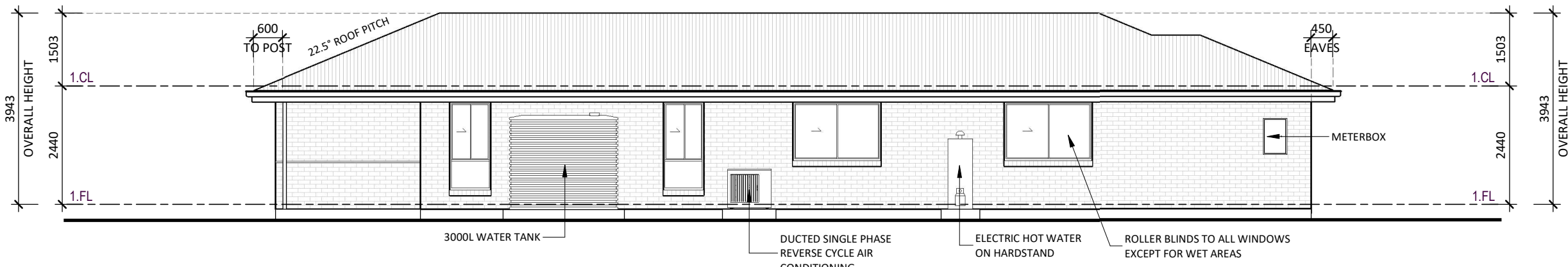
					CLIENT	PROPOSED NEW RESIDENCE FOR NSW Aboriginal Land Council AT LOT 9 (164) THIRD STREET, NARROMINE	PLAN		SCALE	1 : 100	
					DATE		CUSTOM		SHEET SIZE	A3	
D	AMENDMENTS	RX-MB	19/03/25		BUILDER		CUSTOM	BASIX CERT. No. CONSTRUCTION PLANS	DATE	19/03/25	
C	VO2	RX-MB	18/03/25						DRAWN	RX-MB	
B	VO1	VN-MB	20/02/25		DATE		ELEVATIONS		JOB No.	DWG No.	
A	WORKING DRAWINGS	VN-MB	14/02/25						00-000	03-1	
Rev	Amendment	Drawn	Date								

**Certificate No. 0011829100**
Scan QR code or follow website link for rating details.

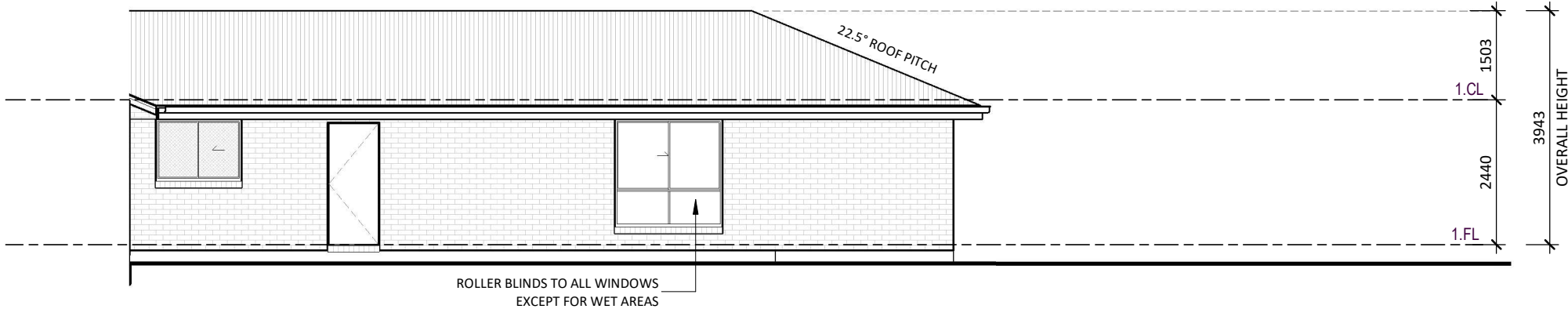
Assessor name Terry Chapman
Accreditation No. 20920
Property Address Third Avenue, NARROMINE, NSW, 2821
Hotondo.com.au/QR/Generate?pr=Locality&CL



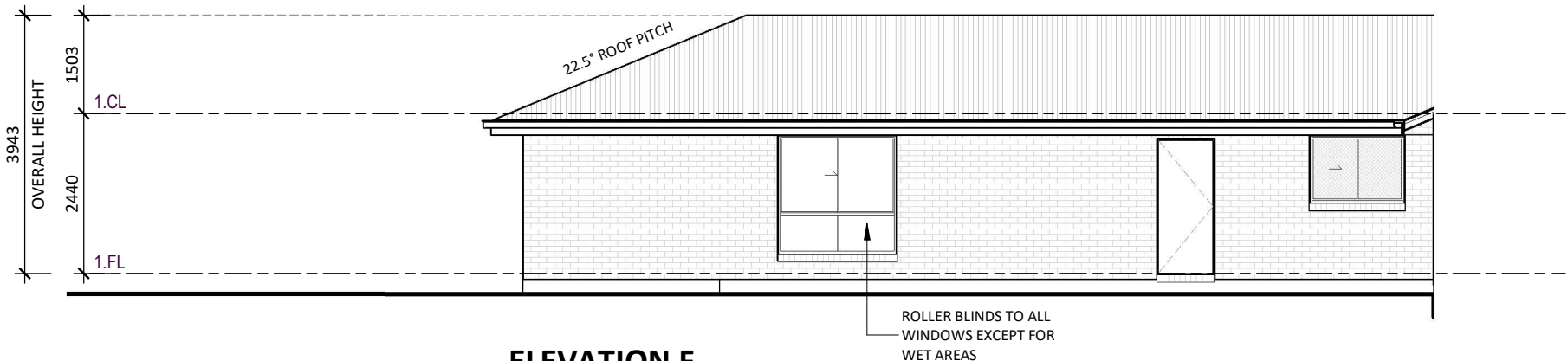
011829100 NARROMINE
02 APR 2025



ELEVATION D
1:100

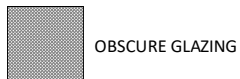
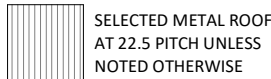
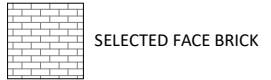


ELEVATION E
1:100




ELEVATION F
1:100

LEGEND



- FRONT ENTRY DOOR
REFER STANDARD INCLUSIONS
- GARAGE DOOR
REFER TO STANDARD INCLUSIONS
- SELECTED ALUMINIUM WINDOWS
REFER TO STANDARD INCLUSIONS
- BRICKWORK ABOVE FRONT ENTRY DOOR
& WINDOWS TO FRONT FACADE ONLY
- COLORBOND FASCIA & GUTTER

REFER TO RELEVANT SPECIFIC STATE /
REGION STANDARD INCLUSIONS DOCUMENT
FOR ALL STANDARD INCLUSIONS

					CLIENT	DATE	BUILDER	DATE	PROPOSED NEW RESIDENCE FOR NSW Aboriginal Land Council AT LOT 9 (164) THIRD STREET, NARROMINE	PLAN		SCALE	1 : 100
D	AMENDMENTS	RX-MB	19/03/25							CUSTOM		SHEET SIZE	A3
C	VO2	RX-MB	18/03/25							FACADE	BASIX CERT. No.	DATE	19/03/25
B	VO1	VN-MB	20/02/25							CUSTOM	CONSTRUCTION PLANS	DRAWN	RX-MB
A	WORKING DRAWINGS	VN-MB	14/02/25							TITLE		JOB No.	DWG No.
Rev	Amendment	Drawn	Date								ELEVATIONS	00-000	03-2



ABSA
Accredited Institution

Assessments completed within the accreditation period are part of the ABSA quality audit system

Accreditation period: 30/03/2025 – 31/03/2026

Assessor Name: Terry Chapman

Assessor Number: 20920


 The Accredited Institution is a member of the UKAS Quality Standard and is committed to follow the ABSA Code of Practice

Thermal Performance Assessment Based on the Following Requirements						
Floor Types	Waffle pod slab 375mm					
Floor Coverings	Tiles	Wet Areas	Vinyl	Living Areas/ Bedrooms		
	Carpet	n/a	Concrete	Garage		
External Walls	Brick veneer - Exclude garage only		with	Sarking and R2.5 bulk insulation Colour Medium		
Internal Walls	Unit A - Plasterboard		with	R2.5 bulk insulation - Garage & Laundry internal walls only		
	Unit B - Plasterboard		with	R2.5 bulk insulation - Garage internal walls only		
Party Walls	Cavity Brick					
Ceilings (roof over)	Unit A - Timber above plasterboard.		with	R6.0 bulk insulation - Exclude garage only		
	Unit B - Timber above plasterboard.		with	R5.0 bulk insulation - Exclude garage only		
Roof	Metal		with	R1.3 roof blanket		Colour Surfmist
Windows and Doors - Unit A	AF single glazed clear		Group B ALM-002-01 U-Value 6.70 or less SHGC 0.70 +/- 5%			
	to all windows and glazed doors unless noted otherwise					
	AF single glazed Comfort Plus		Sliding Doors BRD-033-010-001 U-Value 4.30 or less SHGC 0.69 +/- 5%			
	Sliding Door - Alfresco Sliding Door		Sliding Windows BRD-149-005-001 U-Value 4.60 or less SHGC 0.60 +/- 5%			
	Sliding Windows - All Living Dining Sliding Windows only					
	Group A windows are Awning, Bifold, Casement or Tilt 'n' turn		Group A doors are Bifold, Entry, French or Hinged			
Windows and Doors - Unit B	AF single glazed clear		Group B ALM-002-01 U-Value 6.70 or less SHGC 0.70 +/- 5%			
	to all windows and glazed doors unless noted otherwise					
	Group B windows are Double hung, Fixed, Louvre or Sliding		Group B doors are Sliding or Stacker			
	AF = Aluminium Framed TB = Thermally Broken Aluminium Framed		TF = Timber Framed			
	Group A windows are Awning, Bifold, Casement or Tilt 'n' turn		Group A doors are Bifold, Entry, French or Hinged			
	Group B windows are Double hung, Fixed, Louvre or Sliding		Group B doors are Sliding or Stacker			
AF = Aluminium Framed TB = Thermally Broken Aluminium Framed		TF = Timber Framed				
<i>If the Universal Certificate indicates downlights, then these are to be non-ventilated LED / fluorescent</i>						
<i>Any exhaust fans noted are to be fitted with self-closing dampers or be otherwise sealed</i>						
<i>All insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA</i>						
<i>If there is a discrepancy between this document and the Nathers Certificate, then the Nathers Certificate shall take precedence</i>						
Notes	Ceiling Fans (1200mm) to be installed in the Living and Bedrooms					



REFER TO APPROVED BUILDING PERMIT
DRAWINGS FOR ALL FINAL SPECIFICATIONS

- ROOF TRUSSES AT 22.5° TO MANUFACTURERS SPECIFICATION
- SELECTED COLORBOND FASCIA & GUTTER
- CONCRETE SLAB TO ENGINEERS SPECIFICATION
- PLASTERBOARD LINING TO ALL CEILINGS AND WALLS

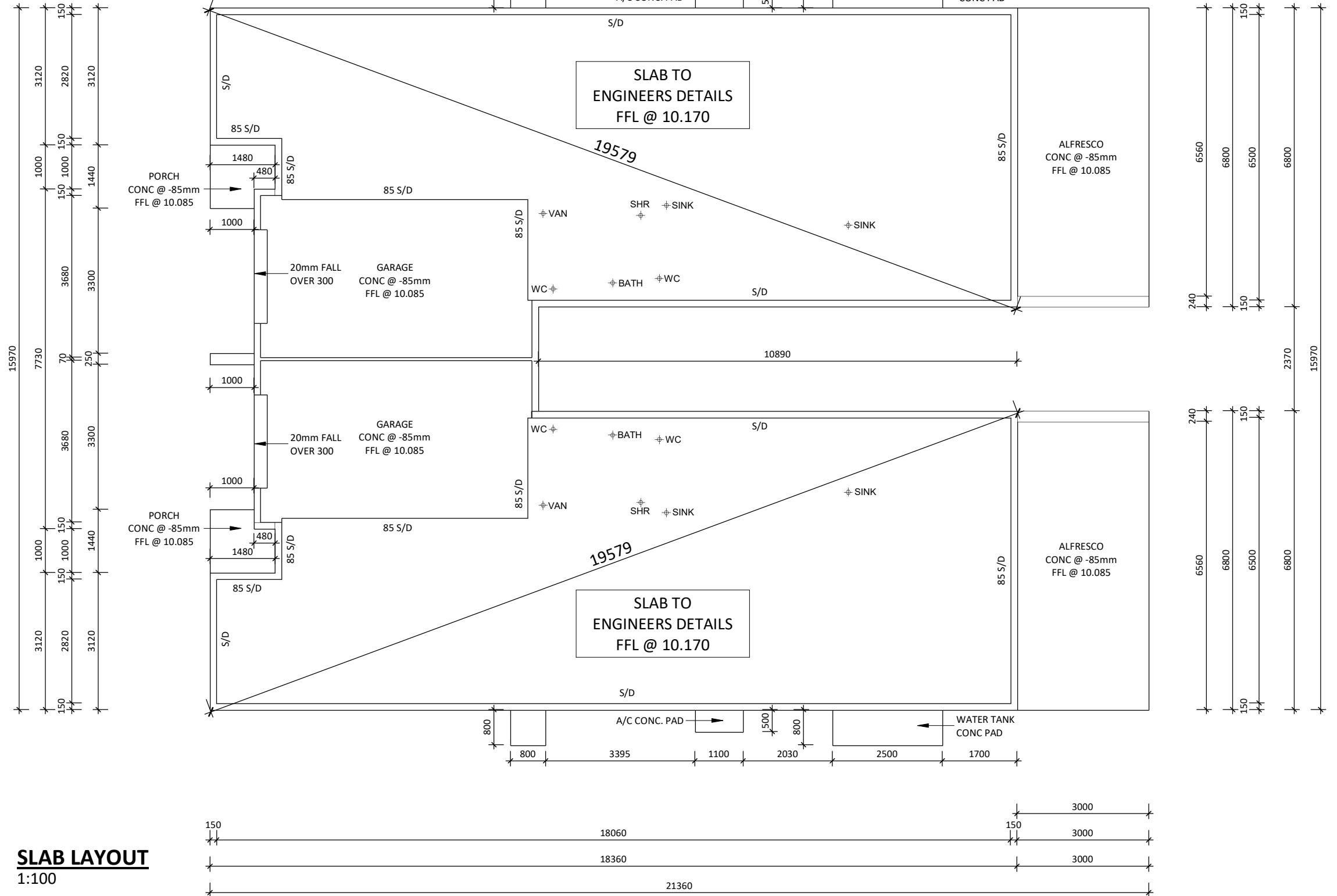
					CLIENT DATE/...../..... BUILDER DATE/...../.....	PROPOSED NEW RESIDENCE FOR NSW Aboriginal Land Council AT LOT 9 (164) THIRD STREET, NARROMINE	PLAN		CUSTOM	SCALE	1 : 50	
D		AMENDMENTS	RX-MB				19/03/25	FACADE		BASIX CERT. No.	SHEET SIZE	A3
C		VO2	RX-MB				18/03/25	CUSTOM		CONSTRUCTION PLANS	DATE	19/03/25
B		VO1	VN-MB				20/02/25				DRAWN	RX-MB
A		WORKING DRAWINGS	VN-MB				14/02/25	TITLE		SECTION	JOB No.	DWG No.
Rev	Amendment	Drawn	Date								00-000	04

SCALE	1 : 100
SHEET SIZE	A3
DATE	19/03/25
DRAWN	RX-MB
JOB No. 00-000	DWG No. 05-1

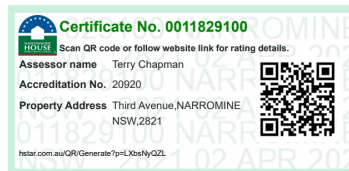
PLUMBER AND CONCRETER TO CONFIRM
ALL PC ITEMS FOR SLAB PENETRATION
OFFSET AND DIMENSIONS

NOTES

1. VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT.
2. ALL PLAN DIMENSIONS ARE TO OUTSIDE OF BRICKWORK UNLESS NOTED OTHERWISE.
3. FOOTINGS AND SLAB CONSTRUCTION TO BE IN ACCORDANCE WITH ANY GEOTECHNICAL REPORT & ENGINEERS' DETAIL FOR THIS ALLOTMENT.
4. TERMITE PROTECTION TO BE IN ACCORDANCE WITH AS 3660.1 1995 AND NCC 3.1.3.



SLAB LAYOUT



CLIENT

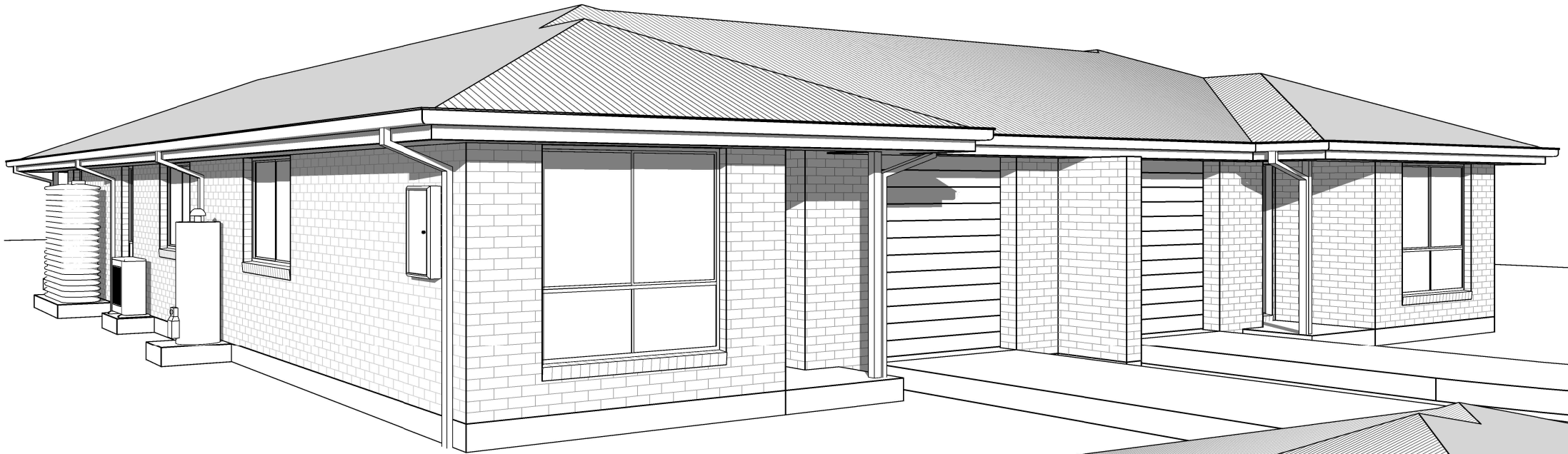
DATE/...../.....

BUILDER

DATE/...../.....

PROPOSED NEW RESIDENCE FOR
NSW Aboriginal Land Council
AT LOT 9 (164) THIRD STREET,
NARROMINE

PLAN <div>CUSTOM</div>		SCALE	1 : 100
		SHEET SIZE	A3
FACADE <div>CUSTOM</div>	BASIX CERT. No. <div>CONSTRUCTION PLANS</div>	DATE	19/03/25
		DRAWN	RX-MB
TITLE <div>SLAB LAYOUT</div>		JOB No. 00-000	DWG No. 05-2



**Certificate No. 0011829100**
Scan QR code or follow website link for rating details.

Assessor name Terry Chapman
Accreditation No. 20920
Property Address Third Avenue, NARROMINE, NSW, 2821
Basix.com.au/QR/Generate?m=UkxshyG2L



**ABSAC**
Accreditation Body for the BASIX Assessor

Assessor Name Terry Chapman
Accreditation Period 20/03/2025 - 20/03/2028
Assessor Number 20920

D	AMENDMENTS	RX-MB	19/03/25
C	VO2	RX-MB	18/03/25
B	VO1	VN-MB	20/02/25
A	WORKING DRAWINGS	VN-MB	14/02/25
Rev	Amendment	Drawn	Date



CLIENT

DATE/...../.....

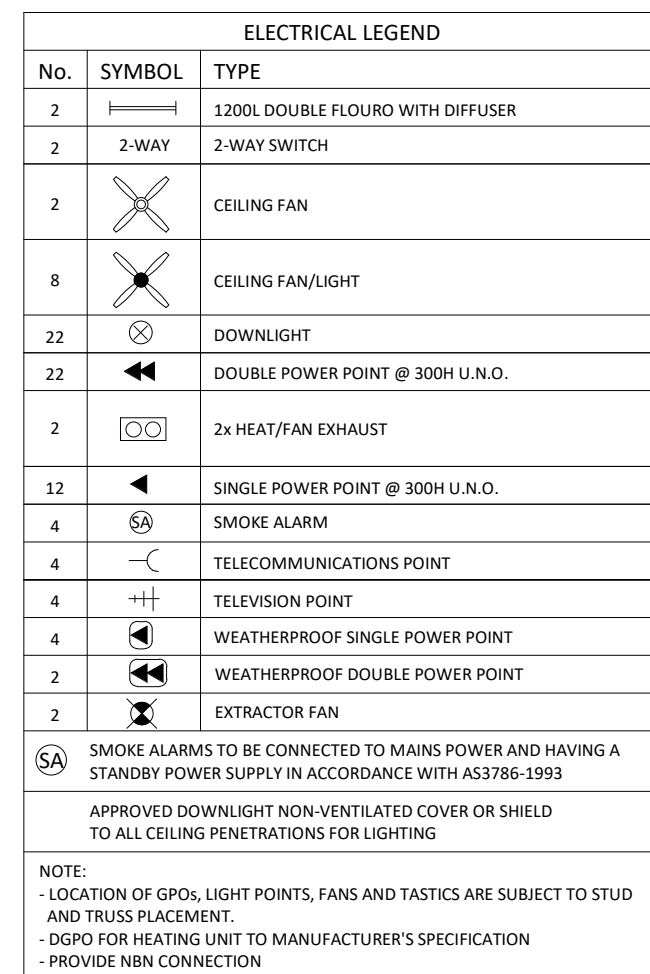
BUILDER


DATE/...../.....

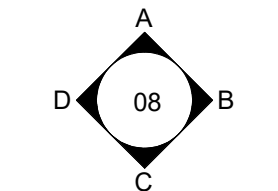
PROPOSED NEW RESIDENCE FOR
NSW Aboriginal Land Council

AT LOT 9 (164) THIRD STREET,
NARROMINE

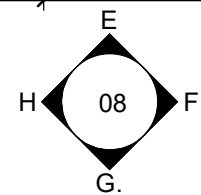
PLAN		CUSTOM		SCALE	
FACADE		CUSTOM		SHEET SIZE	A3
TITLE		PERSPECTIVES		DATE	19/03/25
				DRAWN	RX-MB
				JOB No.	DWG No.
				00-000	06



					CLIENT	PROPOSED NEW RESIDENCE FOR NSW Aboriginal Land Council AT LOT 9 (164) THIRD STREET, NARROMINE	PLAN		SCALE	1 : 100
D	AMENDMENTS	RX-MB	19/03/25		DATE/...../.....		CUSTOM		SHEET SIZE	A3
C	VO2	RX-MB	18/03/25		BUILDER		CUSTOM	BASIX CERT. No. CONSTRUCTION PLANS	DATE	19/03/25
B	VO1	VN-MB	20/02/25		DATE/...../.....				DRAWN	RX-MB
A	WORKING DRAWINGS	VN-MB	14/02/25				ELECTRICAL PLAN		JOB No. 00-000	DWG No. 07
Rev	Amendment	Drawn	Date							



FLOOR PLAN
DWELLING 1 KITCHEN



FLOOR PLAN
DWELLING 2 KITCHEN



REFER TO RELEVANT SPECIFIC STATE /
REGION STANDARD INCLUSIONS DOCUMENT
FOR ALL STANDARD INCLUSIONS



D	AMENDMENTS	RX-MB	19/03/25
C	VO2	RX-MB	18/03/25
B	VO1	VN-MB	20/02/25
A	WORKING DRAWINGS	VN-MB	14/02/25
Rev	Amendment	Drawn	Date



CLIENT

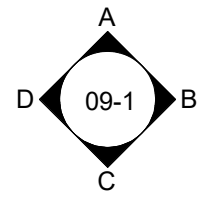
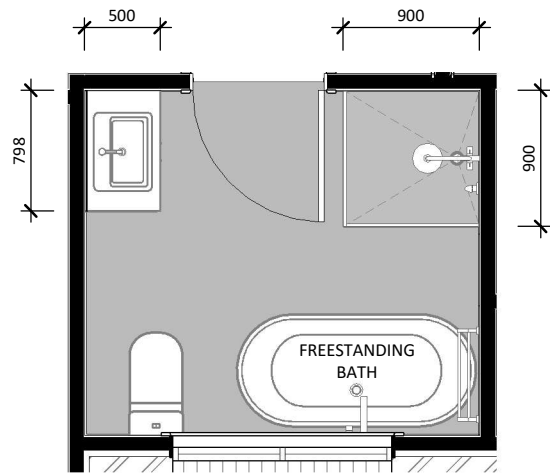
DATE/...../.....

BUILDER

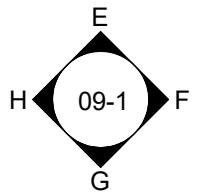
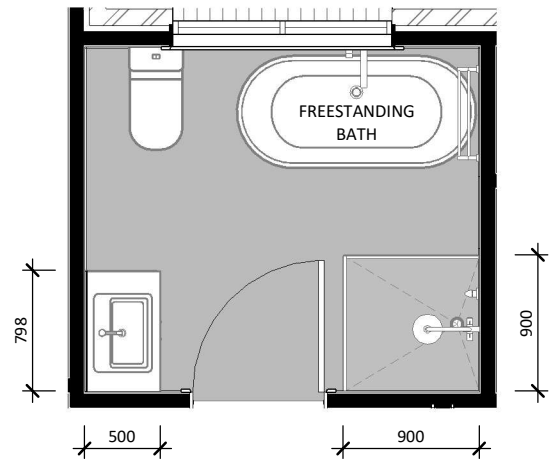
DATE/...../.....

PROPOSED NEW RESIDENCE FOR NSW Aboriginal Land Council	
AT LOT 9 (164) THIRD STREET, NARROMINE	

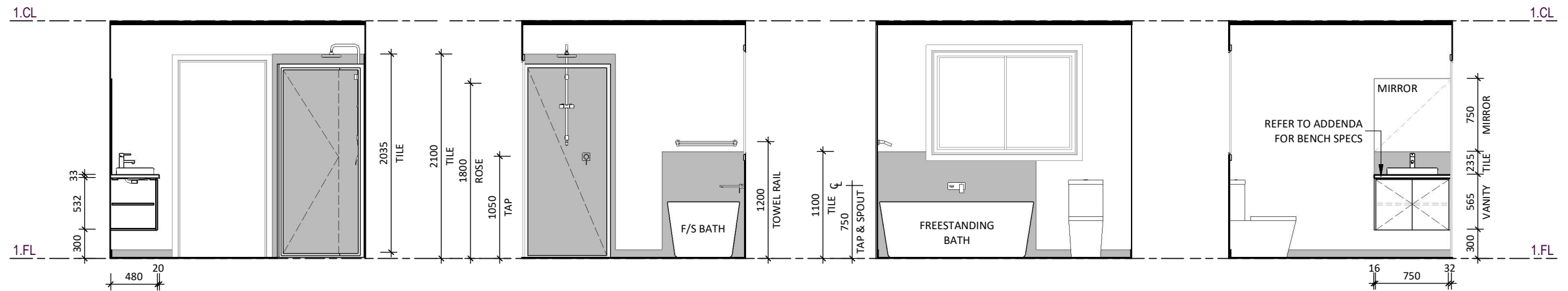
PLAN <div>CUSTOM</div>		SCALE	1 : 50
		SHEET SIZE	A3
FACADE <div>CUSTOM</div>	BASIX CERT. No. <div>CONSTRUCTION PLANS</div>	DATE	19/03/25
		DRAWN	RX-MB
TITLE <div>KITCHEN DETAILS</div>		JOB No. 00-000	DWG No. 08



FLOOR PLAN
DWELLING 1 BATHROOM



FLOOR PLAN
DWELLING 2 BATHROOM

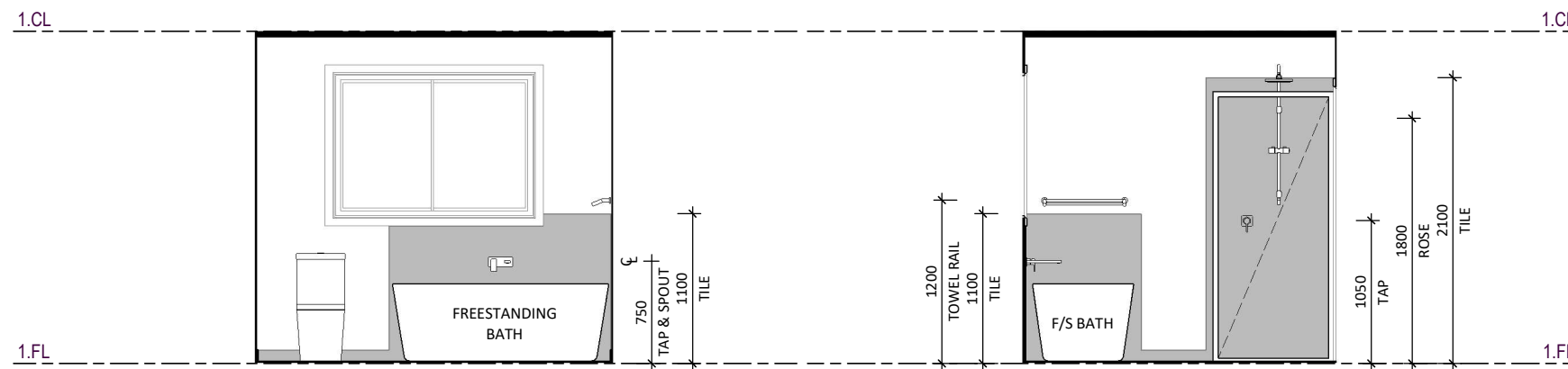


ELEVATION A
DWELLING 1 BATHROOM

ELEVATION B
DWELLING 1 BATHROOM

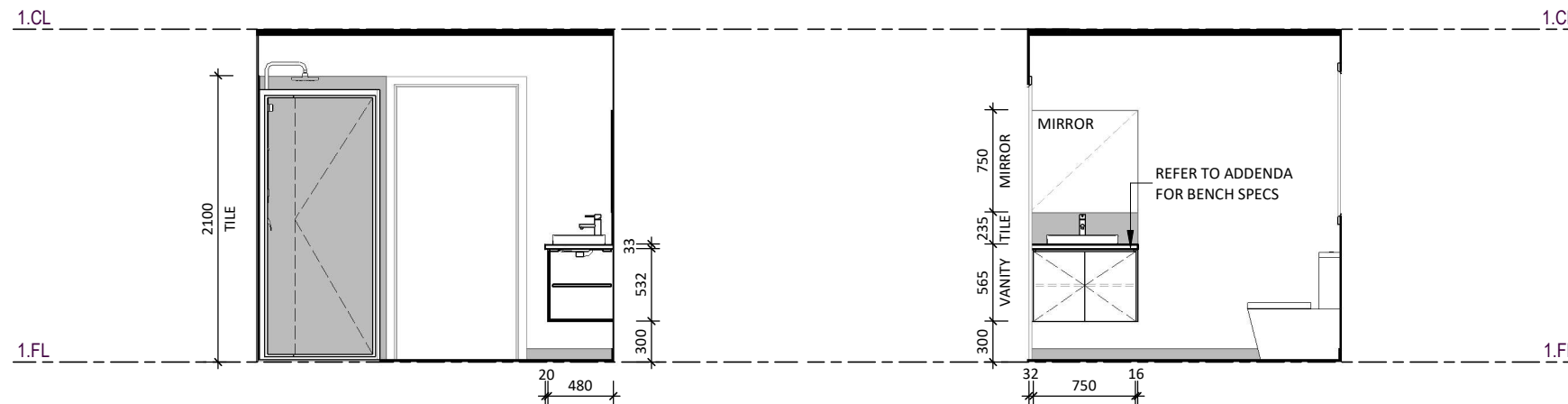
ELEVATION C
DWELLING 1 BATHROOM

ELEVATION D
DWELLING 1 BATHROOM



ELEVATION E
DWELLING 2 BATHROOM

ELEVATION F
DWELLING 2 BATHROOM




ELEVATION G
DWELLING 2 BATHROOM

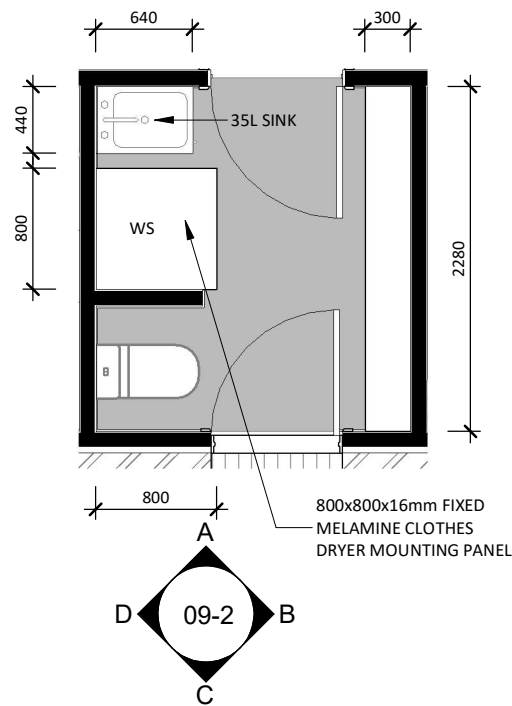
ELEVATION H
DWELLING 2 BATHROOM



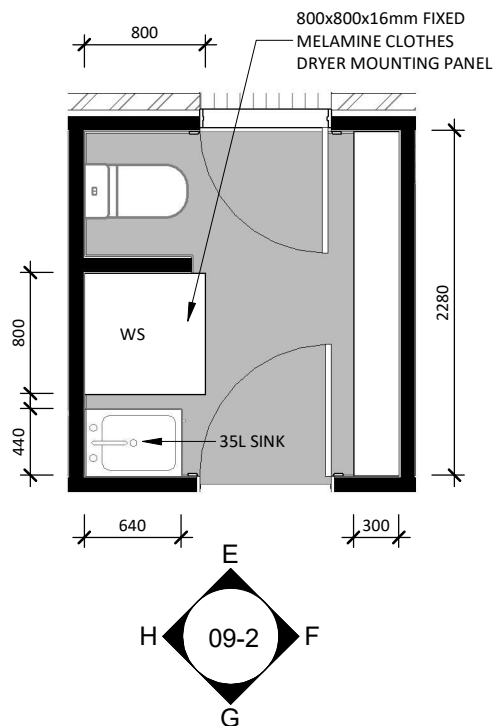
ALL MEASUREMENTS ON INTERNAL SHEETS
ARE DIMENSIONED FROM PLASTER

REFER TO RELEVANT SPECIFIC STATE /
REGION STANDARD INCLUSIONS DOCUMENT
FOR ALL STANDARD INCLUSIONS

					CLIENT DATE/...../..... BUILDER DATE/...../.....	PROPOSED NEW RESIDENCE FOR NSW Aboriginal Land Council AT LOT 9 (164) THIRD STREET, NARROMINE	PLAN		SCALE	1 : 50
D	AMENDMENTS	RX-MB	19/03/25				CUSTOM		SHEET SIZE	A3
C	VO2	RX-MB	18/03/25				FACADE CUSTOM	BASIX CERT. No. CONSTRUCTION PLANS	DATE	19/03/25
B	VO1	VN-MB	20/02/25						DRAWN	RX-MB
A	WORKING DRAWINGS	VN-MB	14/02/25				TITLE WET AREA DETAILS		JOB No. 00-000	DWG No. 09-1
Rev	Amendment	Drawn	Date							



FLOOR PLAN
DWELLING 1 LAUNDRY



FLOOR PLAN
DWELLING 2 LAUNDRY

MS - MICROWAVE SPACE
DS - DISHWASHER SPACE
RS - REFRIGERATOR SPACE
WS - WASHING MACHINE SPACE

ALL MEASUREMENTS ON INTERNAL SHEETS
ARE DIMENSIONED FROM PLASTER

REFER TO RELEVANT SPECIFIC STATE /
REGION STANDARD INCLUSIONS DOCUMENT
FOR ALL STANDARD INCLUSIONS



CLIENT
DATE/...../.....
BUILDER
DATE/...../.....

PROPOSED NEW RESIDENCE FOR
NSW Aboriginal Land Council

AT LOT 9 (164) THIRD STREET,
NARROMINE

PLAN		CUSTOM	SCALE	1 : 50
			SHEET SIZE	A3
FACADE	BASIX CERT. No.	CONSTRUCTION PLANS	DATE	19/03/25
CUSTOM			DRAWN	RX-MB
TITLE		WET AREA DETAILS	JOB No.	DWG No.
			00-000	09-2

